

OFFICIAL COMMUNITY PLAN

2020 - 2040





OVERVIEW

The City of West Kelowna is a growing and vibrant community located on the traditional territory of the Syilx/Okanagan Peoples. Between 2020 and 2040, we anticipate welcoming over 12,000 new residents. The Official Community Plan is the road map that will help us guide how and where we will shape this growth in the future.

This document contains objectives and policies that will guide the decisions of our Council and City staff towards creating a city that is reflective of the #OurWK Community Vision, a separate document that sets the vision for West Kelowna in 2040.



DOCUMENT OVERVIEW

SECTION 1 - INTRODUCTION & COMMUNITY VISION

Includes background information on the Official Community Plan, provides an overview of West Kelowna today, forecasts our future growth, and sets out a growth strategy.

SECTION 2 - LAND USE DESIGNATIONS

Includes objectives and policies that direct growth within an identified Land Use Plan to positively impact our community.

SECTION 3 - POLICIES

Includes objectives, policies and action items over a variety of topics to guide decisions and set the road map to fulfilling the OURWK vision.

SECTION 4 - DEVELOPMENT PERMIT GUIDELINES

Establishes development permit areas and details guidelines to support development consistent with the OURWK vision.

SECTION 5 - IMPLEMENTATION AND MONITORING

Outlines how this plan will be implemented and how it relates to other municipal bylaws and processes.



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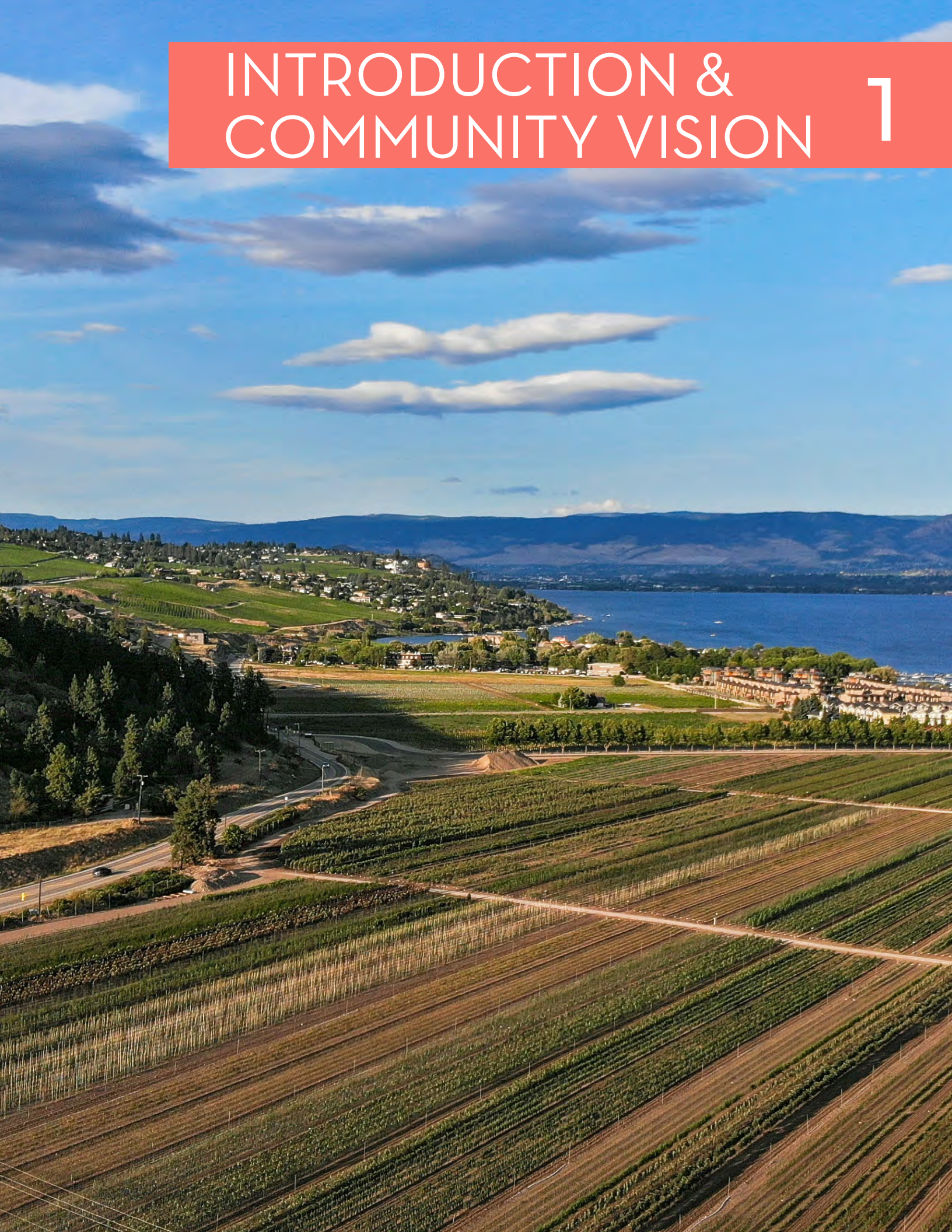
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INTRODUCTION & COMMUNITY VISION

1



1.1 PURPOSE OF THE OCP

Today, West Kelowna is home to 36,078 residents, and by 2040, our population is expected to be more than 48,000. This growth will bring both opportunities and challenges, and strategic planning is essential to ensure West Kelowna can continue to grow in ways that reflect the vision for the community.

To accommodate our growth over the next 20 years, we need to create and implement plans and policies that clearly identify where development will be prioritized and supported with infrastructure and amenities. The City's Official Community Plan (OCP) is one way that we can help direct growth to positively impact our community.

OCP's are documents that describe the long-term vision for a municipality and have objectives and policies that will guide its decisions for the long term. The Local Government Act (LGA) provides the legal authority for local governments, like The City of West Kelowna, to adopt an OCP. The LGA lists content that must be included in a municipality's OCP, as well as optional content that a municipality can include.

Once approved, this OCP will be the key guide for West Kelowna City Council and Staff for decision making on community planning and land management issues. This OCP is also an important document for residents of West Kelowna, as it will guide how the community changes and operates as we approach 2040.



1.2 FREQUENTLY ASKED QUESTIONS

Why Is The OCP Important?

The OCP ensures that the many interests such as sustainability, land use, and investment in a community are directed towards a common vision and that change is managed and coordinated. The OCP provides certainty for residents, landowners, developers and the City about the future.

Without an OCP, individuals pursuing their own interests could make separate and uncoordinated decisions which may generate undesirable consequences. For example, if a fast food restaurant with a 24 hour drive-through were to locate in the middle of a quiet residential neighbourhood, it could generate complaints that the City would be asked to solve. With an OCP, these situations can be avoided.

Who Uses An OCP?

Residents, property owners, community groups, developers and investors use the OCP to learn about where and how future growth may occur and then make decisions and prepare development proposals that conform to it.

Council and staff are also guided by the OCP when making decisions about zoning, development and servicing.

How Does the OCP Function?

Preparation and Adoption

- Council authorizes the preparation of an OCP. It is adopted after study, analysis, public consultation and a Public Hearing.

Implementation

- The OCP is implemented as lands within the City develop and redevelop.
- Residents, property owners, community groups, developers and investors prepare proposals that are to conform to the OCP, if they are to be approved.
- Council's actions, future bylaws and works are to be consistent with the OCP; however, the OCP bylaw does not commit Council to proceed with specific projects identified in the OCP.

Amending, Reviewing and Updating The OCP

- Amending: An OCP may be amended at any time. Council usually amends it periodically over the life of the document to keep it relevant and effective in light of changing social, environmental and economic needs, public and Council preferences and legislation.
- Reviewing: An OCP must be reviewed every 5 years.

What Is The Difference Between The OCP and The Zoning Bylaw?

The implementation of the OCP occurs partially through the City's Zoning Bylaw. The Zoning Bylaw includes specific requirements that development must comply with (e.g. permitted density, site coverage and setbacks, land use and parking). The OCP establishes policies, guidelines and designates lands for specific uses that are supported by Council and the community. This includes Development Permit Areas and related design guidelines which provide additional direction and guidance for development.

In addition to the City's Zoning Bylaw, the OCP is supported by other City plans, policies and bylaws such as the City's Annual Budget, 10 Year Capital Plan, Works and Services Bylaw, Development Cost Charges Bylaw, Building Bylaw, and more.

1.3 PLAN CREATION PROCESS

In 2023, City Council adopted the OCP, which replaces the former OCP adopted in 2011. The process reaffirmed strategies contained in the previous OCP, provided new strategies for managing growth and reflects West Kelowna's community values.

The update process began in 2020 with the formation of the #OurWK Community Vision, a document that outlines our community aspirations for what West Kelowna will be like in 2040. Following the foundational Community Vision, in 2021 and 2022 a detailed review process began with the goal of taking the community's vision and making it a reality.

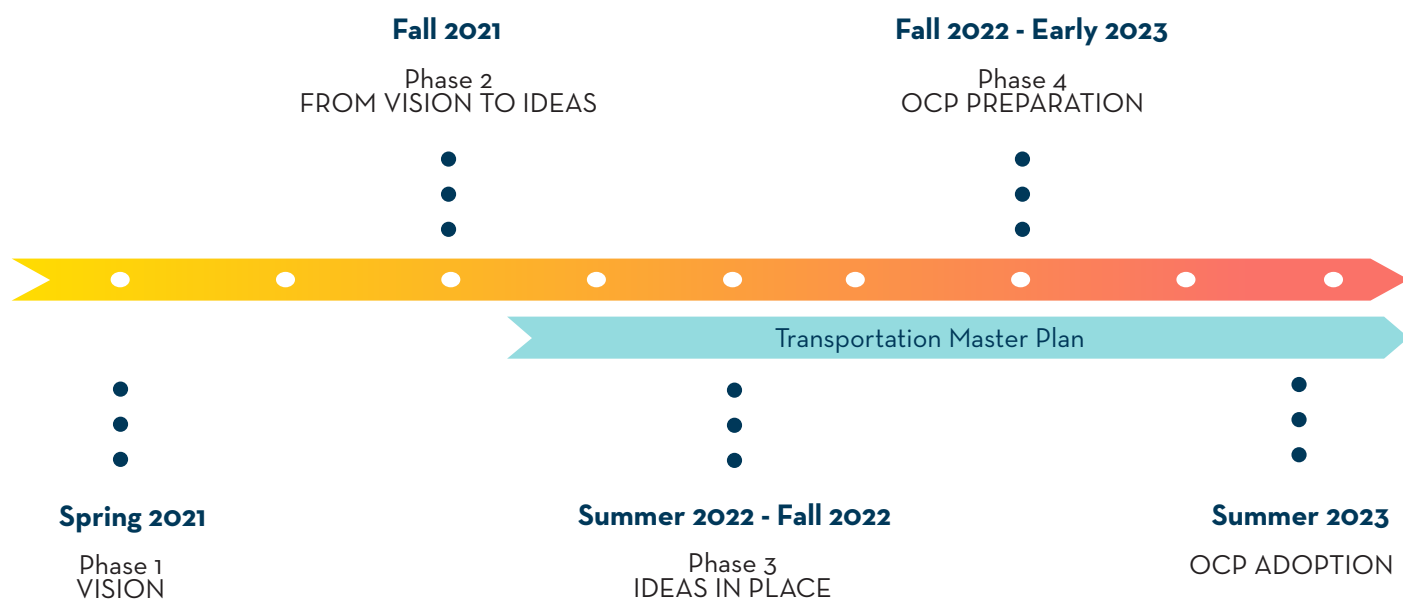


Figure 1. Plan Creation Process

Phase 1 – VISION: To provide an overall direction to guide the development of West Kelowna's OCP, a visioning document, titled #OurWK Community Vision, was created. This document sets out what West Kelowna wishes to be by the year 2040, and is based on five foundations and 23 key directions to provide a balanced grounding to support the vision.

Phase 2 – FROM VISION TO IDEAS: With a clear vision set, we engaged residents and stakeholders to discuss how the #OurWK vision looks like when implemented. We forecasted how and by how much West Kelowna will grow by 2040, and looked at how that growth can reflect the #OurWK vision.

Phase 3 – IDEAS IN PLACE: In Phase 3 we began to draft and refine the contents of the OCP, continuing to engage with the public and other stakeholders.

Phase 4 – PLAN ADOPTION: In Phase 4 we created the implementation plan and mapping for the OCP, before approaching City Council for approval.

On June 27, 2023, City Council passed first and second readings of the 2040 Official Community Plan (OCP), and on August 22, 2023 it passed third reading as amended and was then adopted by Council on the same date.

1.4 #OURWK COMMUNITY VISION

The #OurWK Community Vision is the document that speaks to our goals and aspirations as a City for the year 2040. This OCP has objectives and policies that put this vision to work in our community. The #OurWK Community Vision is broken into five Foundations, which are described below:

#OURWK VISION OVERVIEW

In West Kelowna...

- We live in harmony with these lands and waters, with one another, and with our neighbours.
- We maintain a deep connection with our agricultural roots and we celebrate the one-of-a-kind character of our community.
- We prepare for and welcome change through innovation and collaboration.
- We are inclusive and supportive of one another, and we are ready to create our future together.

OUR PEOPLE

OUR PEOPLE is about creating a community for all of us. West Kelowna wishes to be a place where you say hello to your neighbours, where you raise your children, where you can find a home that fits your unique needs and stage of life, and where you live a healthy, fulfilling lifetime surrounded by friends and family. Our West Kelowna is a city that is inclusive and welcoming to all.

OUR CONNECTIVITY

OUR CONNECTIVITY is how we experience our community. Our physical connections make it easy and enjoyable to move around and our social and spiritual connections link us with one another, with our neighbours, and with the region.

OUR ADAPTABILITY

OUR ADAPTABILITY is how we work together to help our city be successful. This is where we commit to collaboration and making the best possible choices that will keep West Kelowna healthy, green, safe, and resilient for years to come.

OUR PROSPERITY

OUR PROSPERITY starts with taking care of the lands and waters that support us. It is also about supporting businesses that will provide good jobs and places to shop, keeping our city thriving. It involves defining West Kelowna's unique **sense of place** and sharing it proudly with the world.

OUR PLACES

OUR PLACES are the neighbourhoods and destinations we love. This is where we commit to maintaining what's great and catalyzing improvements that will make places like Westbank Centre, our waterfronts, and our neighbourhoods even better, augmenting community pride.

Each of these five Foundations encompasses more specific Key Directions, as shown in the following figure.



Figure 2. #OurWK Key Directions

1.5 OUR WEST KELOWNA TODAY AND TOMORROW

The City of West Kelowna is located on the western shore of Okanagan Lake, on the traditional territory of the Syilx/Okanagan people. The City of West Kelowna has an area totaling approximately 12,353 hectares (123.53 square kilometers) and spans from Highway 97C in the south to Rose Valley and Bear Creek Road in the north. This OCP encompasses the entirety of the City.

Our City has many neighbours, who we seek to collaborate with in implementing our vision:

- *North: Westbank First Nation (WFN) Community Forest, the Regional District of Central Okanagan, including rural Crown land and large private land holdings.*
- *East: Westbank First Nation, Okanagan Lake, The City of Kelowna*
- *South: The District Municipality of Peachland*
- *West: Regional District of Central Okanagan*

West Kelowna shares adjacent boundaries with Westbank First Nation (WFN), as our closest neighbour, on the west side of the lake, including WFN's two reserve areas. These areas, established in 1860 and overseen by WFN since 1963 are known as Tsinstikeptum Indian Reserves 9 and 10, respectively (referred to as IR#9 and IR#10 in this document). This comprises a total of approximately 980 hectares (2,420 acres) and includes an approximate population of 10,000. WFN has been self-governing since 2005 and their administration operates independently.

West Kelowna values these neighbours as collaborative partners, as our combined population of approximately 47,000 people may interact with both jurisdictions. As more people move to establish a career, develop connections with their neighbours and invest in the future of their community in the Okanagan Valley, our collaboration with neighbours to manage this growth is essential in fostering healthy, sustainable, and thriving communities while protecting our natural areas. A coordinated, collaborative planning approach, founded upon a shared vision, will enable West Kelowna to direct growth and manage change for the long-term health of the community, and the Okanagan Valley.

OUR PEOPLE

The City of West Kelowna is a vibrant and growing community. Our People is a foundation of the #OurWK vision as it reflects the people of West Kelowna's contributions to creating a more welcoming, equitable and sustainable community. The following section explores West Kelowna's anticipated population trends, as a baseline for the policies in the OCP.

Population Statistics

West Kelowna's growth has been a continuous story. According to the 2021 Statistics Canada Census, the population of West Kelowna is 36,078, which represents an increase of just over 10% from the 2016 Statistics Canada Census population of 32,655, and 32.3% from the 2008 population of 27,261.

It is estimated that the population of West Kelowna will grow an average of 1.5% every year until 2050. This translates into an estimated future population of 41,961 in 2030, 48,223 in 2040, and 54,147 in 2050. These projections represent a slight increase from those made in the last version of the OCP. A growing population means that as we continue to grow as a community, we will need to create places to live, work, and play for existing residents and the approximately 12,000 additional people we anticipate welcoming by 2040.

West Kelowna, like many cities in Canada, has an aging population. In 2021, the median age of West Kelowna was 44, a slight decrease from the 2016 median age of 45.2. Further to this trend, 21.4% of residents are over the age of 65, with an additional 15% aged 55 to 64. This is slightly higher than the provincial average. By 2050, these percentages are expected to increase.

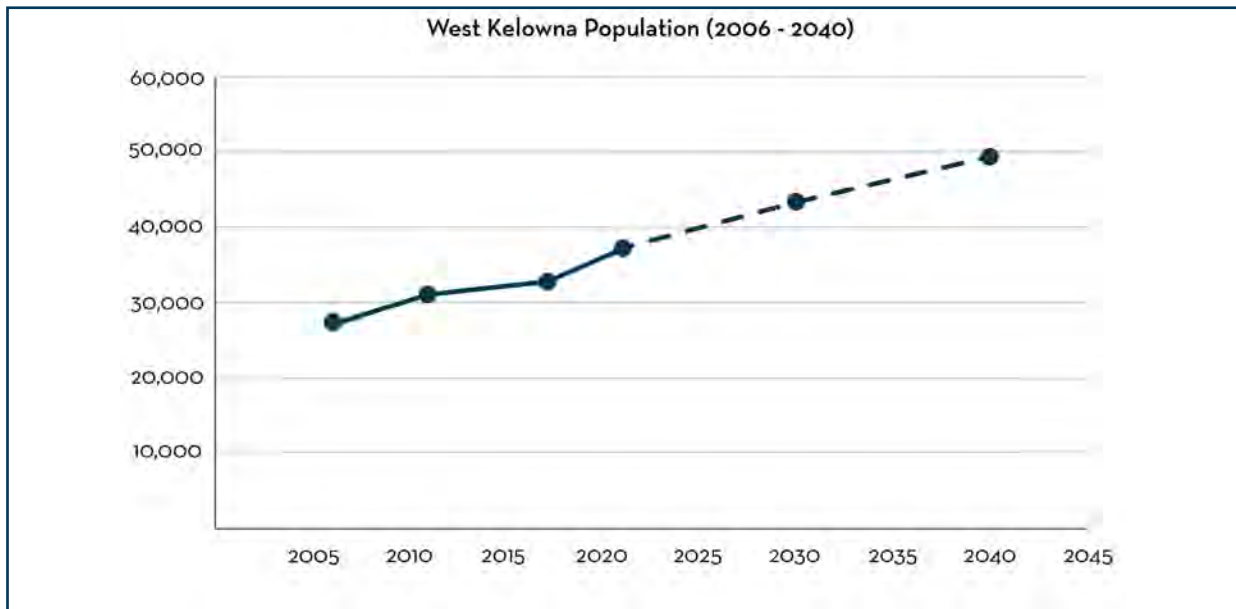


Figure 3. West Kelowna Population Projections

In 2040, those aged 65 and over will make up 27% of the population and additional 12% will make up those aged 55 to 64. Those aged 35 to 54, which are typically at the peak of their career and are also the highest income earners will make up 26% of the total population, this is expected to decrease to 23% by 2050. In consideration of the unique housing needs and interests of our community, a range of housing types and tenures must be provided. The considerable number of people over 55 requires special attention when planning housing, infrastructure, transportation and recreational uses we build and operate.

Table 1. Population Projection by Cohort*

| City of West Kelowna Population Projections by Age Cohort (2016 - 2050) | | | | | |
|---|---------------|---------------|---------------|---------------|---------------|
| Age | 2016 | 2021 | 2030 | 2040 | 2050 |
| Under 15 | 5,472 | 5,880 | 6,423 | 6,730 | 6,959 |
| | 16% | 16% | 15% | 14% | 13% |
| 15 - 24 | 3,683 | 3,655 | 4,387 | 5,160 | 5,896 |
| | 11% | 10% | 10% | 11% | 11% |
| 25 - 34 | 3,725 | 4,105 | 4,417 | 4,917 | 4,987 |
| | 11% | 12% | 11% | 10% | 9% |
| 35 - 44 | 4,082 | 4,770 | 5,361 | 5,572 | 5,640 |
| | 12% | 13% | 13% | 12% | 11% |
| 45 - 54 | 4,874 | 4,575 | 5,273 | 6,632 | 7,204 |
| | 15% | 13% | 13% | 14% | 13% |
| 55 - 64 | 5,158 | 5,395 | 5,737 | 5,979 | 6,003 |
| | 15% | 15% | 14% | 12% | 11% |
| 65+ | 6,758 | 7,705 | 10,363 | 13,233 | 17,458 |
| | 20% | 21% | 25% | 27% | 32% |
| Total | 33,752 | 36,085 | 41,961 | 48,223 | 54,147 |

* Projections developed with information from the 2021 Colliers Real Estate Inventory and Growth Projections report and updated with the known 2021 Federal Census data.

Housing Projections

In order to accommodate a growing population, more housing is needed in West Kelowna. To better inform how West Kelowna grows and what housing typologies are most appropriate, research on trends in the housing market was completed in conjunction with the population projections.*

Current Housing Typology Mix

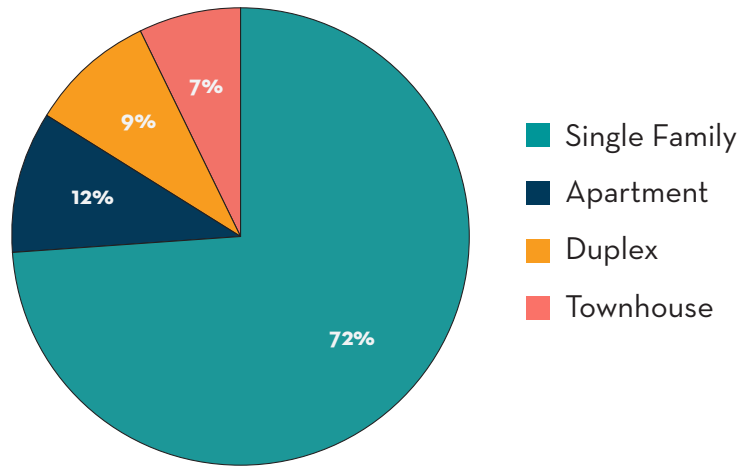


Figure 4. Current Housing Proportion by Typology

West Kelowna Housing Now

There are approximately 14,146 housing units in West Kelowna based on the 2021 Federal Census and housing completions since 2016. West Kelowna's housing, broken down by tenure and type, is displayed in Figure 5.

Current Housing Tenure

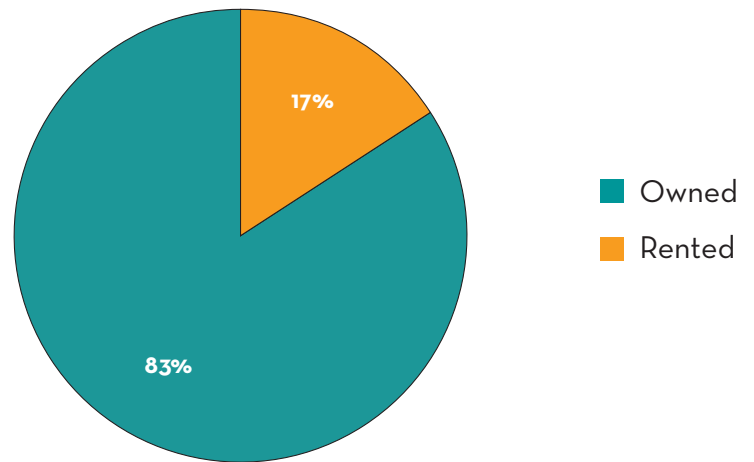


Figure 5. Current Housing Tenure

West Kelowna Housing in the Future

West Kelowna is projected to meet at least 16% of Central Okanagan's housing needs by 2036. Between 2021 and 2040, West Kelowna is projected to experience demand for approximately 5,383 additional dwelling units, or 299 new units per year. In 2021, there were 2,902 residential units in various stages of development in West Kelowna; accordingly, to meet projected demand at least 2,481 additional units should be provided.

If built on undeveloped land, approximately 56 to 81 hectares of land would be required to accommodate those 2,481 units, assuming a split of 54.6% single family homes, 31.6% apartments, and 13.8% duplexes, townhouses, and other attached housing types. Characterized by its hillsides, **steep slopes**, agricultural lands, and its proximity to Okanagan Lake, West Kelowna has many topographical and geographical constraints that makes development in the community limited. By focusing development within the identified Centres, the cost of development and service demand can be more easily managed and will satisfy the need for future population growth. Additionally, opportunities for redevelopment and **infill** in existing neighbourhoods, while not a focal point for future development opportunity, will be another source of housing supply to satisfy growing housing demand in a variety of housing types and tenures.

* All housing data collected from the 2021 Colliers Real Estate Inventory and Growth Projections, and City of West Kelowna Housing Needs Assessment. Where available, data was updated to reflect the 2021 Federal Census using the methodology from Colliers reporting.



20 Year Housing Distribution

There are an estimated 13,975 households in West Kelowna, of which the average household size is 2.6 people, which is slightly higher than the provincial average of 2.4 people. Notably, 41% of total units are two-person households and 21% are single-person households. The majority of families are two persons, 56%, with only 19% of families being 3 person and 25% of 4 persons or more. This indicates that the majority of future homes should be built to accommodate families of 3 or less persons in order to meet demand.

Over the next 20 years West Kelowna is expected to require an additional 5383 additional dwelling units by 2040. The anticipated population growth and related future housing demands are based on the assumption of a 2.6 person household size for new build or redevelopment and a population growth rate of 1.5% per year.

To accommodate the anticipated housing demand and population growth, various growth models were examined that considered variable rates of growth, the type of growth, and the locations where growth might occur. This resulted in the development of a growth concept that identified focused growth areas, outlined generally in Section 1.6 below. Further reviews of the growth models have examined the effect of proposed maximum building heights and potential corresponding densities to adjust the maximum housing potential for the growth concept, as outlined in Table 2 below.

Based on the adjusted growth models, the City will have the ability to accommodate a more aggressive growth rate into 2040 if necessary, and to accommodate housing potential in accordance with the growth concept. Additionally, while potential **infill** and redevelopment areas were not included in the growth model, these areas remain as an additional opportunity to permit a range of low density residential options, including single detached, carriage house, secondary suite, and duplex dwellings. It is difficult to determine how much **infill** may be completed, but based on ongoing community interest, there is reason to believe that this will continue in years ahead. Additionally, the 2040 OCP does not introduce any new suburban neighbourhoods to ensure future growth is concentrated in areas that are already serviceable, and integrated within established or planned neighbourhoods.

Housing distribution (Table 2) is expected to be 40% within two urban centres, 36% within five neighbourhood centres, and the remaining development located in the Smith Creek and Goat's Peak Comprehensive Development Plan areas (Map 1). Housing types within the centres are anticipated primarily as apartments and townhouses, whereas housing types within the remaining development areas are likely to consist of single detached dwellings, low-rise apartments, townhouses and duplexes.

Projected Future Housing Typology Mix

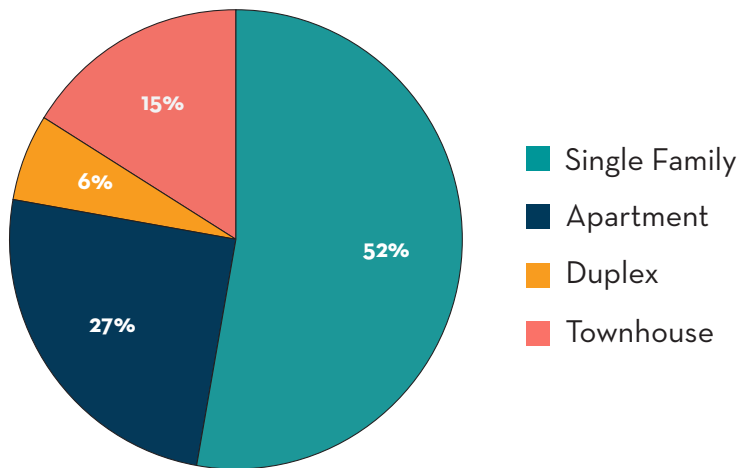
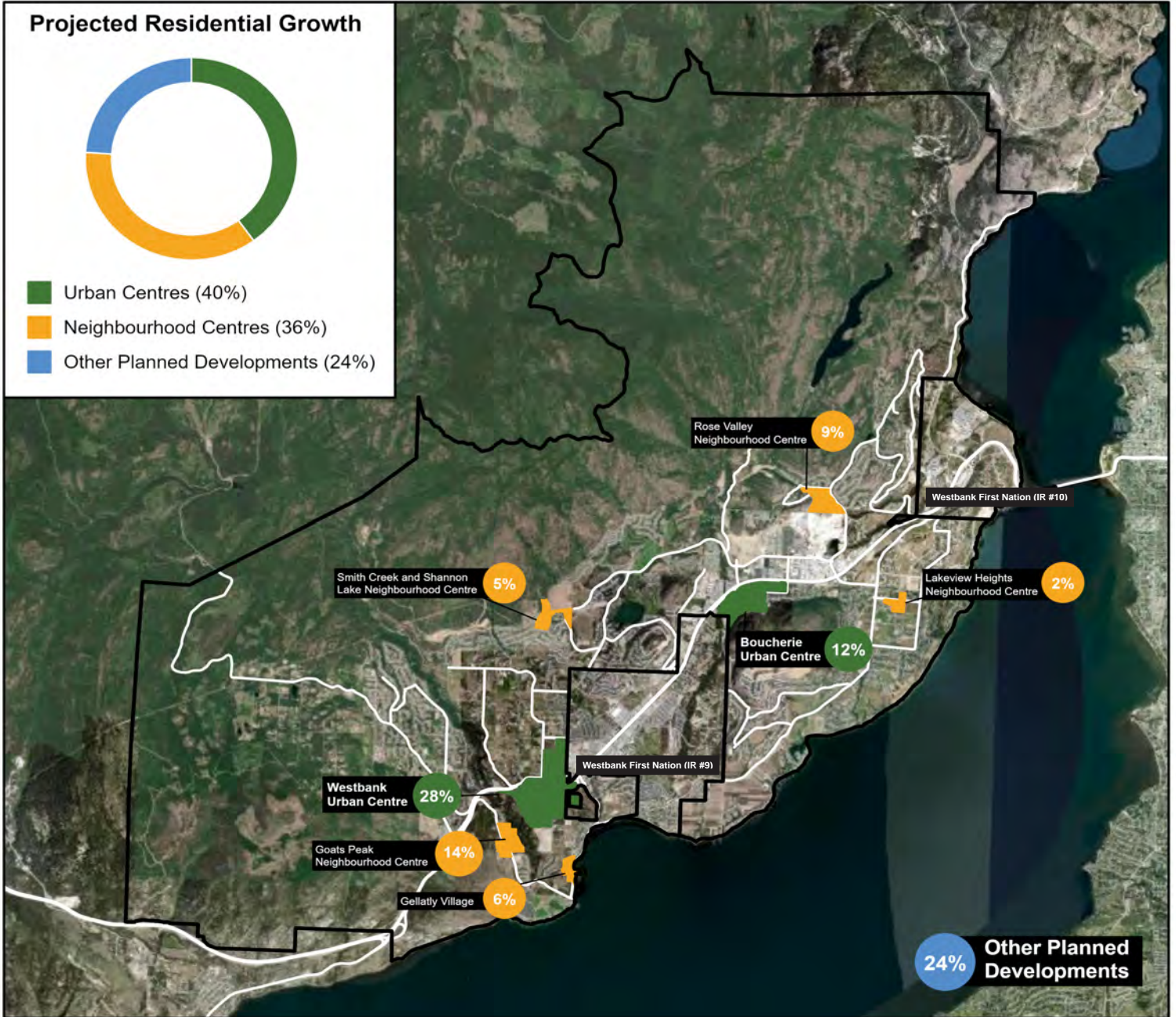


Figure 6. Projected Housing Mix Proportion by Typology



Map 1. Projected Residential Growth



By over planning anticipated growth, the City may be better positioned for future housing demand and may improve housing diversity and attainability for residents in the future. Overall, the land use, servicing and financial plans reflect a distribution of projected housing units to 2040 based on the focused growth areas and the anticipated housing distribution below (Table 2) was used to establish long-term servicing requirements as well as key projects for the City’s Transportation Master Plan and other master plans. The distribution has also informed the land use designations and policies to ensure alignment with planning policy in the OCP. The unit targets, provided in Table 2, will need to be monitored to inform key decisions as some areas may achieve their growth targets sooner than others.

Table 2. Potential Housing Distribution within Centres

| Potential Housing Distribution within Centres* | | |
|---|----------------------------|-------------------------|
| Location | Number of Dwellings | Number of People |
| Urban Centres | 5048 | 13124 |
| Westbank Urban Centre | 3517 | 9143 |
| Mixed Use Corridor | 600 | 1559 |
| Commercial Core | 833 | 2167 |
| Residential Shoulder | 2084 | 5417 |
| Boucherie Urban Centre | 1531 | 3981 |
| Neighbourhood Centres | 4433 | 11529 |
| Goats Peak | 1771 | 4606 |
| Gellatly Village | 782 | 2033 |
| Smith Creek / Shannon Lake | 650 | 1691 |
| Rose Valley | 949 | 2468 |
| Lakeview Heights | 281** | 731 |
| Future Planned Development | 2953 | 7678 |
| Total | 12434 | 32331 |

**This table is based on preliminary densities, geographic boundaries of each area and a maximum build scenario. It is recognized that each area may have limitations and not all Centres may build out to the maximum potential based on market, topographical and other factors. It is also important to recognize that each Centre will not be solely residential but also may include commercial, institutional, recreational and other community uses impacting the number of dwellings and people that could be accommodated in each Centre. The numbers in this table illustrate an over-projection of population and number of dwellings for planning purposes.*

*** Does not include the approximately 300 units already planned in Lakeview Heights.*

West Kelowna Housing Trends

Affordability: Like many areas of BC, the housing prices in the Central Okanagan area are increasing rapidly. Between 2013 and 2021, the price of housing increased by 56% for single-family homes, 61% for townhouses, and 49% for apartments. However, the 2021 Census states that 21.6% of West Kelowna’s population spent over 30% of its income on shelter costs, which is less than the British Columbia proportion of 25.4%.

Maintaining adequate housing supply in the face of West Kelowna’s growing population is a key component of housing attainability and affordability, as supply shortfalls can result in upward pressure on housing costs.

Smaller Units: In recent years, supply and demand of new units have increasingly favoured apartments, townhouses, duplexes and units smaller than single-detached houses. Since 2017, the proportion of new unit construction that are apartments has been increasing. In 2018 new apartment unit construction outnumbered new single-detached home construction for the first time. Demand for apartments is expected to continue to rise leading up to 2040, and the demand for single-detached units is anticipated to fall. However, it is anticipated that single-detached homes will still be the most desired housing type in 2040.

Secondary Dwellings: The West Kelowna Housing Needs Assessment identified an issue in the supply of secondary suites. While there has been an increase in supply of such units, some are used for short-term rentals (e.g., vacation rentals), and other units aid the long-term rental market. With a significant portion of the renter population living in secondary suites and the secondary rental market (suites and carriage houses), short term rental units may remove housing from the general rental housing stock and reduce overall supply of available rental housing in the city. In 2022, building permit data indicated that single-detached homes with suites were on track to outnumber stand alone single-detached homes. Suites and carriage homes will continue to be an important element in supporting a variety of housing options in West Kelowna.

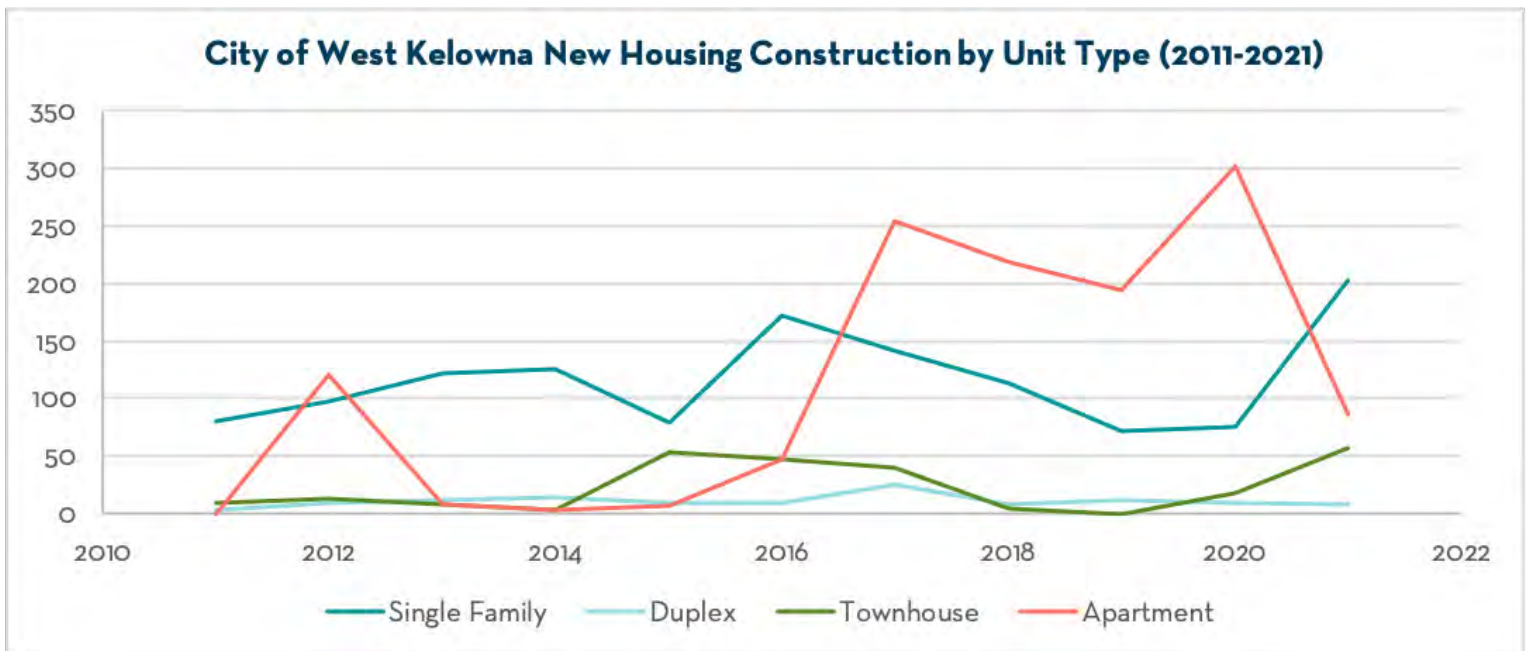


Figure 7. New Housing Construction by Unit Type (2011-2021)

OUR ECONOMY

West Kelowna’s working age population in 2021 was 30,205, with 18,975 of those participating in the labour force (63% of the total working population). As West Kelowna grows, so will its labour force. It is estimated that the labour force will increase to 22,246 in 2030, and 25,583 by 2040.

Attracting, retaining, and expanding businesses that create meaningful jobs close to home is a key direction of the #OurWK Community Vision. As we grow, it is important that we plan for the spaces and conditions that support attractive employment opportunities for residents. Our estimated demand for retail, office, and industrial space is discussed below.

Retail

The rapid adoption of online shopping and delivery services is continuing to change the retail market. Currently, West Kelowna's retail supply must be considered alongside the retail supply within WFN lands, as both serve the same populations (estimated combined population of approximately 47,000).

According to the Colliers Real Estate Inventory and Growth Projections report from 2021, it was estimated that West Kelowna and WFN have a combined total of 147,716 square metres of retail space, and a vacancy rate of 6.5%, representing a healthy retail market. WFN land contains 64% of this retail space, which holds the majority of the big box stores. Smaller-scale retailers are more concentrated in West Kelowna, particularly in the Westbank Centre. While opportunities for big box retail are limited in West Kelowna, there is an opportunity to develop lifestyle and experience-oriented retail nodes. These often take the form of blocks of small, street-orientated shops.

Introducing small-scale Retail in Neighbourhoods

West Kelowna is estimated to see a demand for an additional 10,219 square metres of retail space by 2030, and 30,379 square metres by 2040. As West Kelowna's population continues to grow, and communities densify, opportunities begin to emerge to introduce small-scale commercial centres in neighbourhoods other than Westbank Urban Centre. These types of uses can support the daily needs of residents within walking distance, reducing dependence on the automobile and enriching the neighbourhood experience.

Mixed-Use Development

West Kelowna's developable land is limited by topography and agricultural uses. Providing more opportunities for mixed-use development that combines commercial, office, entertainment, and residential in the same building is a way to supply West Kelowna with more retail space, while conserving land for other uses.

Office

The rise in working remotely has softened the demand for office space in many jurisdictions across the country. West Kelowna currently has 33,972 square metres of office space with a vacancy rate of 5.9%. This market is relatively small, with ambulatory healthcare services, professional services, and public administration being the largest occupiers.

West Kelowna is estimated to see demand for 8,826 square metres of additional office space by 2030, and 14,493 square metres by 2040.



Industrial

West Kelowna is located between the two major centres of Vancouver and Calgary. Convenient transportation access via the Highway 97 Connector provides efficient connection to the Lower Mainland while access to Highway 97 connects West Kelowna to other locations to the north, east and south. In addition to convenient transportation connections, a growing skilled labour pool positions West Kelowna as an ideal location for industrial businesses.

In 2021, the City of West Kelowna had approximately 208 hectares of land designated for industrial use. Of this total amount, 61.3 hectares was occupied industrially zoned land, with 21.4 hectares of available floor space, which is at a 3.1% vacancy rate. Wholesale trade, repair and maintenance, manufacturing, and storage uses are the largest occupiers of this space. The majority of this supply is located within the West Kelowna Industrial and Business Park and it is projected that West Kelowna will experience demand for 59 hectares of additional Industrial land by 2030, and 92 hectares by 2040.

However, West Kelowna's most recent Vacant and Underutilized Lands Inventory from 2017 found a total of 75.7 hectares of vacant or underutilized industrially zoned land that may provide for some of the expected additional demand. Assuming 50% (37.8 hectares) of the existing vacant or underutilized land is suitable for industrial development or intensification, the City would require an additional 21 hectares of industrial land by 2030, and 54 hectares by 2040. This highlights the need for additional industrial land in the future and support for utilization of existing industrial lands, both of which may benefit from updated industrial land studies.

Table 3. City of West Kelowna Industrial Demand Projections (2021-2040)

| City of West Kelowna Industrial Demand Projections (2021-2040) | | | |
|--|--------|--------|--------|
| Statistic | 2021 | 2030 | 2040 |
| Total Working Age Population | 29,875 | 35,657 | 42,642 |
| In the Labour Force | 18,975 | 22,246 | 25,583 |
| Employed | 17,545 | 20,745 | 24,272 |
| Unemployed | 1,430 | 1,470 | 1,287 |
| Participation Rate | 63.5% | 62% | 60% |
| Employment Rate | 59% | 59% | 57% |
| Unemployment Rate | 8% | 5% | 5% |
| Industrial Employment Rate (%) | 37% | 37% | 37% |
| Industrial Employment Total ¹ | 6,491 | 7,676 | 8,981 |
| Industrial Employment Per Hectare ² | 4.9 | 4.9 | 4.9 |
| Projected Industrial Land Requirements (hectares) | 231.9 | 251.3 | 294.2 |
| Additional Industrial Floorspace Requirements (hectares) | | 59.1 | 92.3 |
| Vacant and Underutilized Industrial Land (hectares) - 75.7 ha ³ | 37.8 | 37.8 | 37.8 |
| Estimated Additional Industrial Land Requirements (hectares) | | 21.3 | 54.5 |

1) 100% of the City's industrial based industries, 20% of population-based industries, and 10% of primary industries

2) Estimate of industrial-related employees per acre of industrial designated land

3) Assumes 50% of vacant or underutilized industrial zoned land is suitable for industrial redevelopment without any significant constraints

*Information in this table was updated as per the 2021 Federal Census where possible and using the same methodology from the Real Estate Inventory and Growth Projections (2021) report from Colliers. Additional Industrial Floorspace Requirements, Vacant and Underutilized Industrial Land and Estimated Additional Industrial Land Requirements were not updated.

1.6 LAND AS A FRAMEWORK FOR GROWTH

1.6.1 Growth Strategy

West Kelowna is a growing city. By 2040, we expect over 12,000 new residents, representing an increase of over 33%. This growth is an opportunity to help transform our City and create a healthy, economically sustainable and thriving community. The OCP and its land use designations intentionally direct residential, commercial, and industrial growth in key areas to set up a framework for future development (see map 2 Growth Concept).

By focusing future growth and increased density in strategic areas contained within the **Growth Boundary**, this plan will enable the City to manage development sustainably while bringing life to the community's vision for a vibrant, walkable and connected West Kelowna. Using the OCP and following the direction of the growth strategy will be key to ensuring the City achieves the objectives outlined in the #OurWK Community Vision.

Overview

To accommodate our growth, we are concentrating on new development in two **Urban Centres**, five **Neighbourhood Centres** and the **Industrial and Business Park** area. Additionally, we are promoting **infill** housing development – a sensitive form of new construction that will enable more people to live, work and take advantage of services in existing neighbourhoods – to encourage a balanced and sustainable quality of life in locations throughout the community. Overall, the growth strategy projection exceeds the current estimated target population in 2040, with the goal of increasing our community's flexibility and capacity to absorb growth, and broadening housing attainability across West Kelowna.

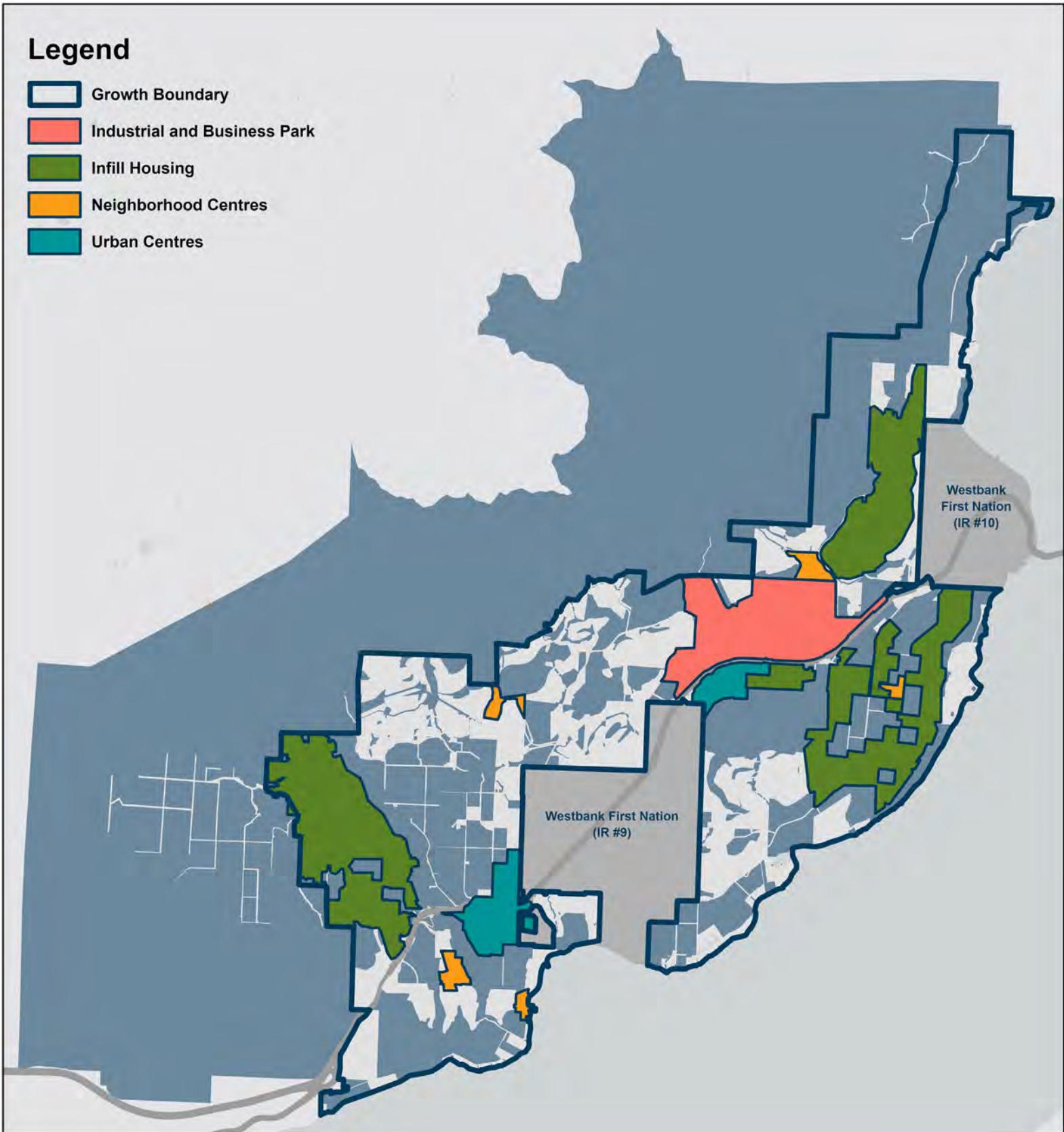
What is density?

Density speaks to the amount of activity within a specific area. More dense areas feature buildings that are taller or cover more of their land and hold more households and jobs than less dense areas.



Legend

-  Growth Boundary
-  Industrial and Business Park
-  Infill Housing
-  Neighborhood Centres
-  Urban Centres



Map 2. Growth Concept - Vibrant Centres and Complete Neighbourhoods

HOW DOES DENSITY IMPACT COMMUNITIES?

The concentration of activity, people, jobs and services has a direct impact on livability, accessibility and the economic, social and environmental sustainability of a given area.



High Density Areas

Feature larger buildings that contain a higher intensity of uses such as households, offices, and retail space than lower density areas. Because there is a higher concentration of people in high density areas, these areas tend to better support public transit, a variety of employment, shopping, and other amenities. Higher density areas generally have a smaller environmental footprint per person.

Along with taller or larger buildings, higher density areas often have less space between buildings and less private outdoor space per household.



Medium Density Areas

Feature low- to mid-rise buildings that may include a mix of uses including multi-unit residential, retail or office. Such areas can offer services for residential populations and support public transit and walkability at a **human scale**. Buildings may be represented in a variety of forms and styles, and often engage directly with the street at the ground level.



Low Density Areas

Feature smaller buildings that are typically limited to a single household or commercial use. As there is a lower concentration of people, it is more difficult to support frequent transit service, a variety of employment, shopping and other amenities in low density areas. Lower density areas generally have a larger environmental footprint per person.

Low density areas also have more space between buildings, and often more private outdoor space for households.

Figure 8. Urban Densities

GROWTH CONCEPT AREAS

Urban Centres - Mixed-Use City Centres

The two **Urban Centres** of this Land Use Plan are Westbank and Boucherie **Urban Centres**. These two Centres, each within immediate proximity to Highway 97, are well-positioned to welcome new residential development, commercial services, community and civic amenities, and the infrastructure to support this growth. The **Urban Centres** will not only serve the many residents in these areas, but also provide a range of services and amenities to the wider community.

Neighbourhood Centres - Complete Neighbourhoods

Complementing the two **Urban Centres** are five **Neighbourhood Centres** located throughout West Kelowna, addressing gaps within our community. While not as dense as the **Urban Centres**, these areas will see a range of higher density housing and commercial development, providing destinations and services to the surrounding neighbourhoods. These Centres will provide more walkable and bikeable destinations, increase housing diversity and facilitate more convenient access to local services for areas on the periphery of the larger **Urban Centres**.

The five **Neighbourhood Centres** include:

- Rose Valley
- Smith Creek and Shannon Lake
- Lakeview Heights
- Gellatly Village
- Goats Peak

Industrial and Business Park - An Economic Core

West Kelowna has a healthy demand for new industrial and commercial sites. The **Industrial and Business Park** and its employment lands are well positioned along Highway 97 to support the City and the Greater Westside, including WFN lands. The OCP recognizes the significance of this area as an employment and economic core, and sets out to strengthen this function as the City continues to grow.

The **Industrial and Business Park** growth concept area is anchored by many existing employment uses including aggregates, agriculture, aerospace, manufacturing and general industry. Future development will look to build on and diversify existing industries to create resilience and adapt to shifting economic landscapes. Future uses within this area may include offices, studios, laboratories, manufacturing and processing, and technology. Additionally, this plan encourages opportunities to expand the Business Park area and strengthen the presence of industrial uses in West Kelowna.

Infill Housing - Enhancing Our Unique Neighbourhoods

As West Kelowna grows, we should continue to celebrate and support the evolution of our existing neighbourhoods. Part of accommodating our future growth will include integrating additional housing in our established neighbourhoods. **Infill** housing forms and densities can vary widely, from carriage house and secondary suite construction, to zoning amendments for smaller lot sizes. When constructed in a sensitive manner, **infill** development can be seamless, while making efficient use of existing service investments and enriching our neighbourhoods. Infill housing is primarily addressed through policy within the OCP to address housing diversity and attainability. While infill development areas outlined in the Growth Concept identify areas of highest infill potential, policies in this OCP will allow for consideration of infill development in existing low density residential areas in the form of single detached dwellings, secondary suites, carriage houses, smaller lot sizes and duplexes.



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