



# Duplex Servicing Requirements

## Information Bulletin

November 2025

### What is Small-Scale Multi-Unit Housing (SSMUH) and Bill 44?

The City of West Kelowna has updated its Zoning Bylaw to comply with provincial legislation (Bill 44), permitting increased density through Small-Scale Multi-Unit Housing (SSMUH) on lots traditionally zoned for single-family development. For details on permitted densities, refer to the SSMUH bulletin.



Photo Credit: Passive Design

### Servicing Requirements

All SSMUH developments require a connection to a community water and sanitary system.

**Note:** Engineered service drawings are required when submitting a Building Permit application and will be reviewed to verify compliance with the latest version of the BC Building Code.

#### Notable servicing requirement changes due to SSMUH:

1. Minimum 38mm water service will be required for all new lot subdivisions.
2. Minimum 100mm single sanitary service required for each parcel regardless of number of units.

*\*Drawings are not to scale and for illustrative purposes only to detail site servicing scenarios.*

#### Existing Lot Duplex Conversion (Infill)

This scenario is applicable for an existing lot (infill) converting the property to a duplex. This is applicable for both the non-strata (freehold or with a shared wall, excluding party wall subdivisions) and stratified scenarios.

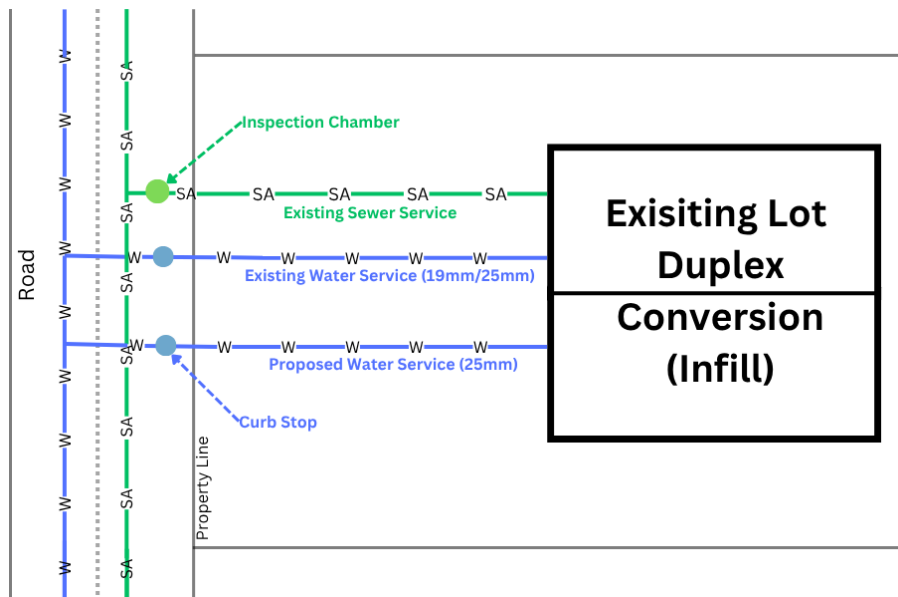
#### Sanitary

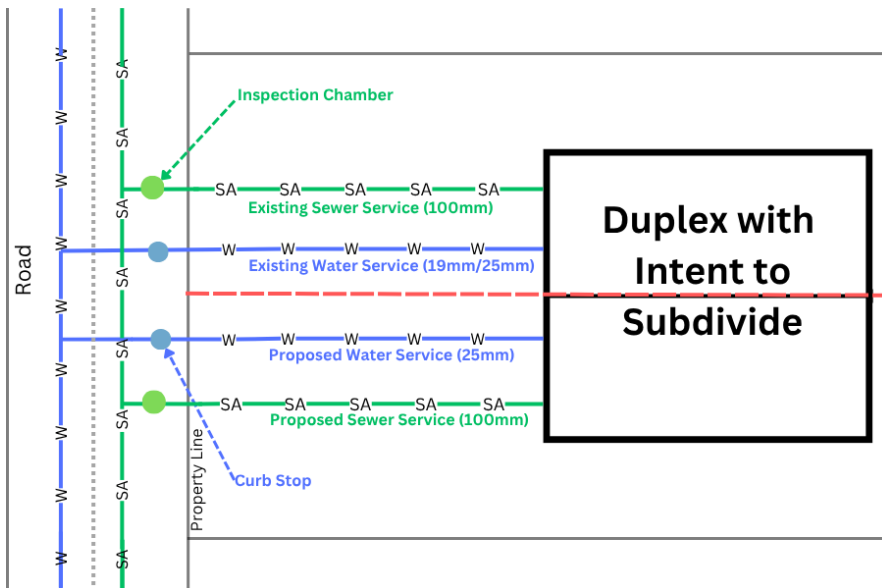
- The existing single sanitary service with inspection chamber is permitted to service both units of the duplex if deemed adequate by the City Public Works Department.

#### Water

- Each unit will require a separate water service with minimum 19mm/25mm service size and individual curb stops.
- Alternatively, the existing 19mm/25mm water service can be upgraded to a 38mm water service

with a tee connection branching to individual services. Details of this specific servicing scenario can be found in the “New Lot Subdivision Servicing for Duplex” section below.





## Duplex with intent to subdivide

This scenario is applicable for:

- An existing or new lot constructing a duplex with the intent to subdivide along the party wall.
- The conversion of an existing duplex property to a party wall subdivision.

### Sanitary

- Each unit requires a separate sanitary service.

### Water

- Each unit will require a separate water service with minimum 19mm/25mm service size and individual curb stops.

## New Lot Subdivision Servicing for Duplex

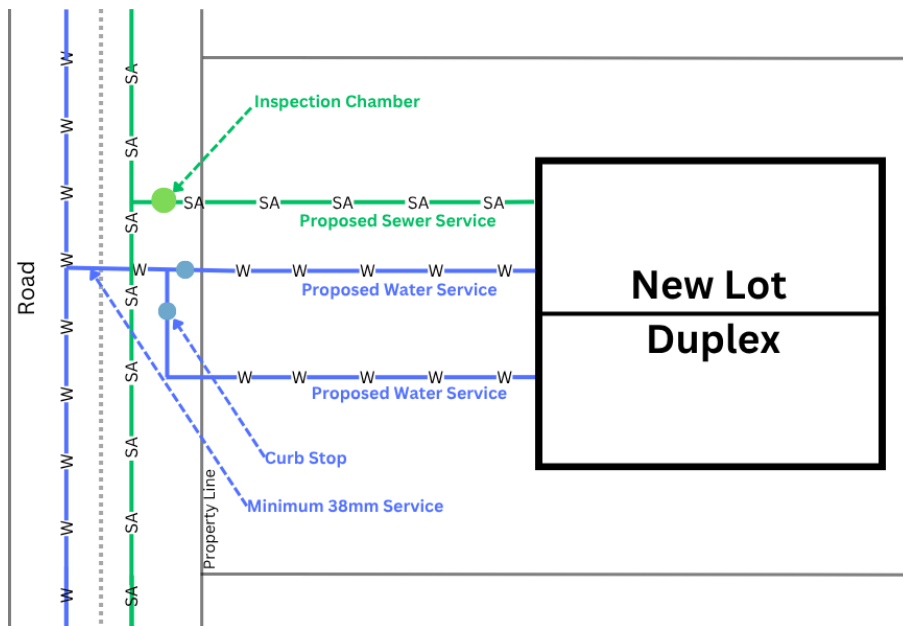
This scenario is applicable for a new lot subdivision requiring services for the construction of a duplex.

### Sanitary

- Minimum 100mm single sanitary service with inspection chamber is permitted to service both units of duplex.

### Water

- A 38mm water service is required for a lot requiring new services with intent for duplex construction.
- The waterline shall have a tee connection on City right-of-way and be as close to the property line as possible.
- Each service line that branches off the tee connection can be reduced to a 25mm water service and requires individual curb stops.





## Permit Requirements

Depending on the duplex building configuration scenario, you may require one or more of the following permits for construction of a Duplex. Contact our Community Development Department to confirm requirements.

**Building Permit:** All residential development in the City of West Kelowna requires a Building Permit to verify that Provincially mandated Building Code requirements are met to ensure the safety of occupants.

**Subdivision Application:** A subdivision is the process of altering legal property boundaries. It often involves the dividing of a single lot into two or more smaller plots of land but can take many forms (in conformance with City zoning bylaw). A subdivision application is required duplex scenarios involving new lot subdivision or intent to subdivide lot along the party wall. Refer to our Subdivision bulletin for more information.

**Works and Services Agreement and Warranty Security Agreement:** A Works and Services Agreement and Warranty Security Agreement are required for the installation of water and sanitary sewer services within the City Right-of-Way. As part of the Works and Services Agreement, a Qualified Engineer must complete detailed design plans and cost estimates.

**Road & Right of Way Usage Permit:** Road & Right of Way Usage Permit is required before starting construction in any City Right-of-Way. All servicing scenarios mentioned above, as well as any new access or egress on your property will require a Road & Right of Way Usage Permit once other permits have been obtained.

## Costs and considerations

The potential permitting and related costs are indicated in the table below. Some of the fees are only applicable in certain areas and City Staff can assist in determining which fees apply to your permit costs. There may also be additional fees than the ones listed in the table below.

Please note that construction costs are not included. Owner is responsible for all capital costs to construct or extend water and sanitary services to the subject parcel.

Potential Permitting Costs	Approximate Related Cost
Building Permit	Refer to latest Fees and Charges Bylaw No. 0028
Subdivision Application	<i>Refer to Schedule 3 of latest Fees and Charges Bylaw No. 0028</i>
Works and Services Agreement Security Warranty Agreement Security	<i>Refer to Schedule 3 of latest Fees and Charges Bylaw No. 0028</i>
Road & Right of Way Usage Permit	\$75 (As per Fees and Charges Bylaw No. 0028.83)
City Development Cost Charges (DCCs)	\$20,020 (As per DCC Bylaw No. 0190.03)
RDCO Development Cost Charges (DCCs)	<ul style="list-style-type: none"> <li>• \$4,787 Sewage Treatment Plant</li> <li>• \$2,684 East Trunk Sewer</li> <li>• (As per RDCO Bylaw 1551 and 1552, 2024)</li> </ul>