



# Infill Housing and Site Standard Guidelines

Making Great Neighbours and Great Neighbourhoods

# INTRODUCTION

---

## Purpose

The Infill Housing & Site Standards Guidelines are intended as a voluntary resource for applicants planning infill housing projects. The guidelines outline key design and site considerations to support community objectives related to safety, servicing, neighbourhood compatibility, and overall site performance. The following guidelines encourage high quality, context-sensitive development that retains neighbourhood character while increasing residential density in the form of gentle infill (i.e., houses, duplexes and multiplexes and carriage homes).

The guideline's reference applicable Zoning and Traffic Bylaw requirements, but are not intended to include all regulatory requirements; they are intended to be a useful companion document when planning out an infill project.

### Bulletin Sections:

1. Neighbourhood Context and Site Layout
2. Parking and Circulation
3. General Design Considerations
4. Good Neighbour Considerations

### Objectives:

1. Enhance and retain neighbourhood character
2. Promote a high standard of infill design, construction, and landscaping
3. Ensure parking is accommodated onsite
4. Strengthen neighbourhood character while promoting vibrant, healthy communities
5. Support healthy communities with development and change that is neighbourly

## Infill Housing Strategy Community Engagement

The City of West Kelowna Infill Housing Strategy was adopted by Council in November 2024. The City undertook a series of public engagement activities to solicit feedback to help inform the Strategy. The input from the public and housing community has provided insight into how West Kelowna can successfully integrate infill housing in West Kelowna neighbourhoods. The following guidelines respond to the input and feedback received during the engagement process.

# Neighbourhood Context and Site Layout

## Neighbourhood Character Compatibility

- a. Design new buildings to respect and enhance existing neighbourhood character while accommodating anticipated future land uses by considering:
  - I. Building scale and massing; and
  - II. Architectural themes/detailing.
- b. Reduce massing and step the roofline and upper storeys to better reflect the scale of neighbouring homes (Figure 1).
- c. Avoid unnecessary grading by working with the existing slope (Figure 2).
- d. Consider siting for infill developments, such as:
  - I. Neighbouring home location;
  - II. Setbacks (site dwellings at or near the minimum front setback [Figure 3]); and
  - III. Zoning Bylaw regulations.



Figure 2: Building with the slope vs. re-grading

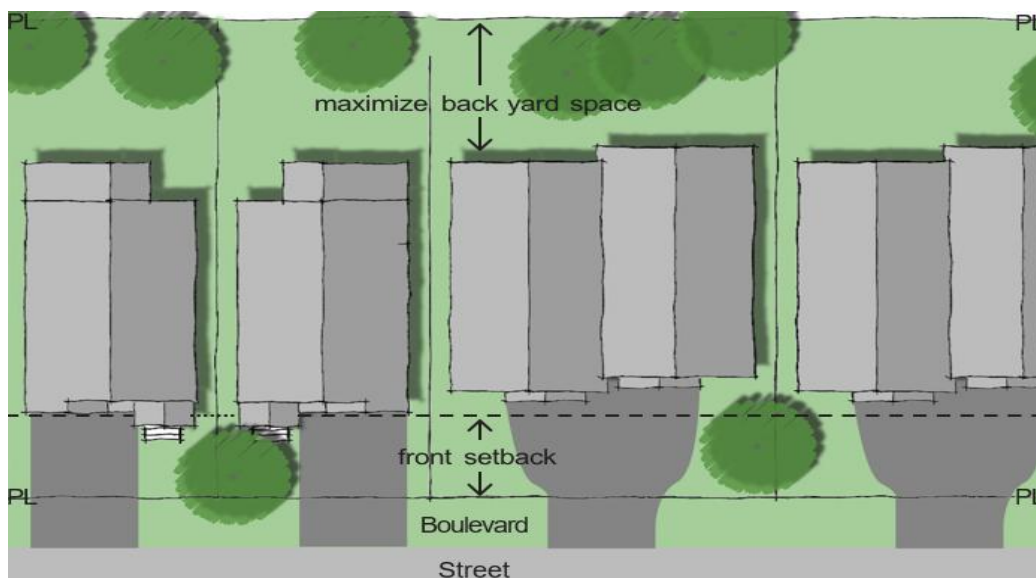


Figure 3: Placement of infill dwelling near the front setback.



# General Design Considerations

## Privacy

When constructing infill housing, please consider the following:

- Balcony sightlines (Figure 7 and 8)
- Window locations (Figure 9)
- Fencing and screening (Figure 9)

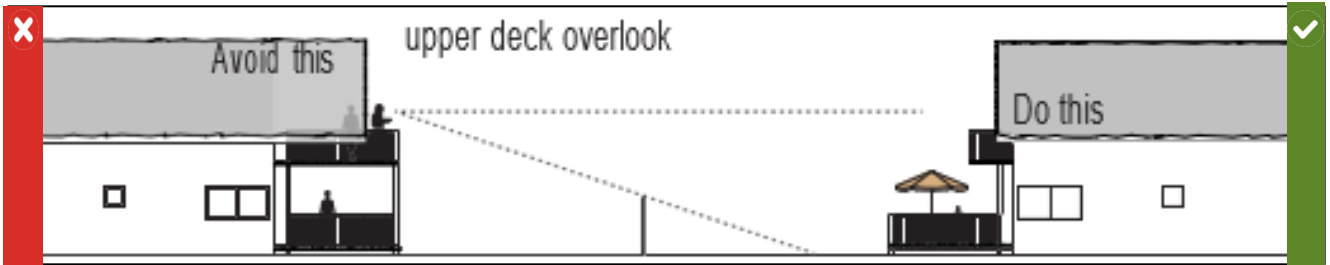


Figure 7: Balcony placement to avoid overlook



Figure 8: Balconies should avoid overlook and create privacy screens through stepping.



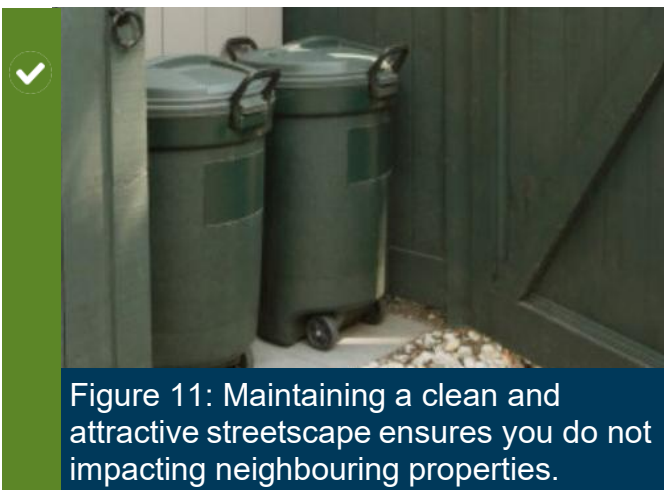
Figure 9: Windows should be located in consideration of adjacent building windows and privacy fencing or landscaping.

# General Design Considerations

## Landscape Considerations

Thoughtful landscape design enhances appearance, improves privacy, supports stormwater management, creates usable outdoor space, and helps infill fit comfortably on smaller lots and within existing neighbourhoods. Consider integrating the following:

- a. Existing trees (Figure 10);
- b. Refuse location and enclosure types (Figure 11);
- c. Fire Smart Principals (Figure 12);
- d. Drought-resistant and native plants; and
- e. Permeable surface opportunities and stormwater management benefit (Figure 13 & 14).



# Good Neighbour Considerations

## Why This Matters for Infill Projects

Infill projects, by definition, are located in established neighbourhoods, so nearby residents can be affected. Overlooking these good neighbour considerations can lead to frustration, complaints, and potential enforcement issues that may delay work.

Development and construction can also create negative short term impacts for neighbours, such as noise, dust, odours, and air quality impacts. Developers and builders can reduce their impacts by using good neighbour practices and by taking action before problems arise.

## How to be a Good Neighbour!

Engaging and communicating with neighbours fosters understanding and support, helping infill developments integrate smoothly into existing communities.

Some things to consider include:

- Inform your neighbours of what's happening, who to contact, how to share input, and what to expect throughout the process.
- Avoid common complaints and issues between neighbours, including:
  - Keeping the site clean and minimizing dust;
  - Managing dirt on sidewalks;
  - Limiting work hours and noise;
  - Addressing safety concerns;
  - Minimizing impacts on parking and avoiding storage of materials on the road;
  - Protecting trees and other vegetation;
  - Managing grading and drainage;
  - Respecting property lines; and
  - Organizing waste and materials effectively.
- Explore ways to maintain positive relationships after the project is complete, such as restoring or updating shared features.
- Many older neighbourhoods do not have accurately established property lines, so issues can arise over whose property a tree or fence is on. An accurate survey that shows where the property line is will ensure harmony with your neighbours.

If you have any questions about an infill project or these guidelines City staff are able to help. Contact Development Services to help start your project today:

778-797-8830 / [dev.services@westkelownacity.ca](mailto:dev.services@westkelownacity.ca)